

220 CENTRAL PARK SOUTH

New York , New York

OWNER:	VORNADO REALTY 210 ROUTE 4 EAST , PARAMUS , N.J. 07652
ARCHITECT OF RECORD:	SLCE ARCHITECTS, LLP 1359 BROADWAY , NEW YORK , N.Y. 10003
DESIGN ARCHITECT:	ROBERT A.M. STERN ARCHITECTS 460 WEST 34TH STREET , NEW YORK , N.Y. 10001
STRUCTURAL ENGINEERS:	DESIMONE CONSULTING ENGINEERS 18 WEST 18TH STREET , NEW YORK , N.Y. 10011
MECHANICAL ENGINEERS:	COSENTINI ASSOCIATES TWO PENN PLAZA, NEW YORK , N.Y. 10121
ELEVATOR CONSULTANT:	VAN DEUSEN & ASSOCIATES 5 REGENT STREET , LIVINGSTON , N.J. 07039-1617

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, N.Y.

OWNER/DEVELOPER:
VORNADO REALTY
110 ROUTE 4 EAST
PARAMUS, NEW JERSEY 07652
TEL.: (201) 587 - 1000
FAX.: (201) 587 - 0600

ARCHITECT:
SLCEArchitects, LLP
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STRUCTURAL ENGINEER:
DESIMONE
8 WEST 18TH STREET, 10TH FLOOR
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TEL.: (212) 532-2211
FAX.: (212) 481-6108

M.E.P./P. ENGINEER:

Cosentini
A TETRA TECH COMPANY

TWO PENN PLAZA
NEW YORK, N.Y. 10121
TEL.: (212) 615-3764
FAX.: (212) 615-3700


05-22-2017	REVISED PAA FILING
08-25-2015	REVISED D.O.B. FILING
02-07-2014	RESPONSE TO D.O.B. COMMENTS
02-07-2014	RESPONSE TO D.O.B. COMMENTS
01-14-2014	D.O.B. FILING
to: Date:	Revision:
D.O.B. NUMBER:	

NB# 121184592

NB# 121184592

ORTH ARROW

Scale:



KEY PLAN:

Shauqat Shaikh

Shauqat Shaikh

Buildings

APPROVED

Under Directive 2 of 1975

PAYMENT OF APPLICATION


Date: 06/06/2027

NYC Development Hub

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

DRAWING TITLE:

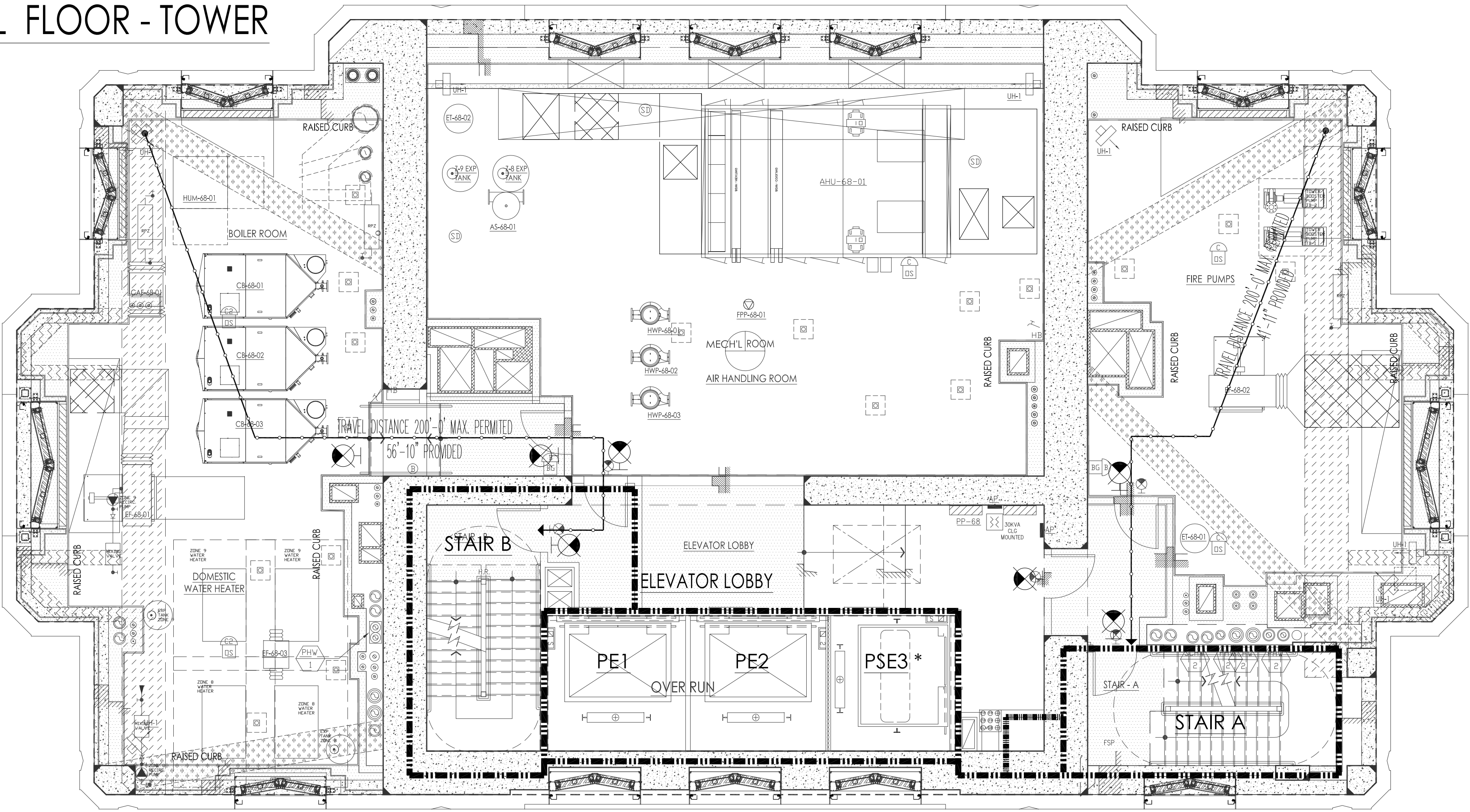
COVER SHEET

	DATE:	2011-23
	PROJECT No:	2011-23
	DRAWN BY:	JB
	CHECKED BY:	L. RUSSO
	DRAWING No:	A-000.00
	CADD FILE No:	\\NYDEC\GIS\DATA\DWG\008 Rpt \\NYDEC\GIS\DATA\DWG\008 Rpt.dwg

68th MECH'L FLOOR - TOWER

STAIR CAPACITY CALCULATIONS			
STAIR DESIGNATION	EGRESS WIDTH IN INCHES	EGRESS CAPACITY FACTOR	PERMITTED OCCUPANTS
STAIR "A"	45	0.3	150
STAIR "B"	45	0.3	150
TOTAL PERMITTED OCCUPANTS			300

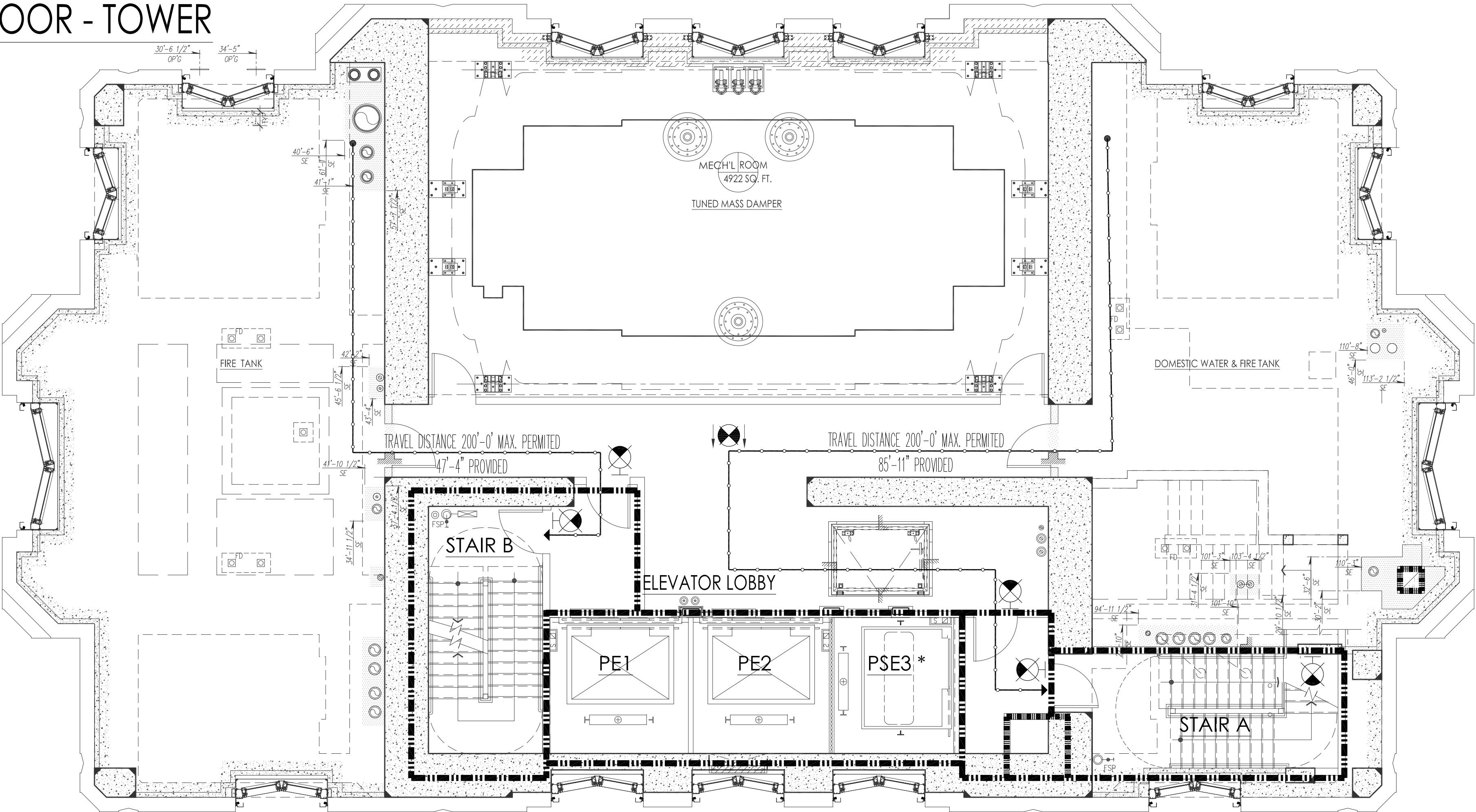
OCCUPANT LOAD CALCULATIONS			
OCCUPANCY CLASSIFICATION	SF/ OCCUPANT	FLOOR AREA	PERMITTED OCCUPANTS
MECHANICAL (S-2)	300	5,052	17
TOTAL OCCUPANT LOAD			17
PROPOSED OCCUPANTS= 17 < 300 THEREFORE COMPLIES			



69th MECH'L FLOOR - TOWER

STAIR CAPACITY CALCULATIONS			
STAIR DESIGNATION	EGRESS WIDTH IN INCHES	EGRESS CAPACITY FACTOR	PERMITTED OCCUPANTS
STAIR "A"	45	0.3	150
STAIR "B"	45	0.3	150
TOTAL PERMITTED OCCUPANTS			300

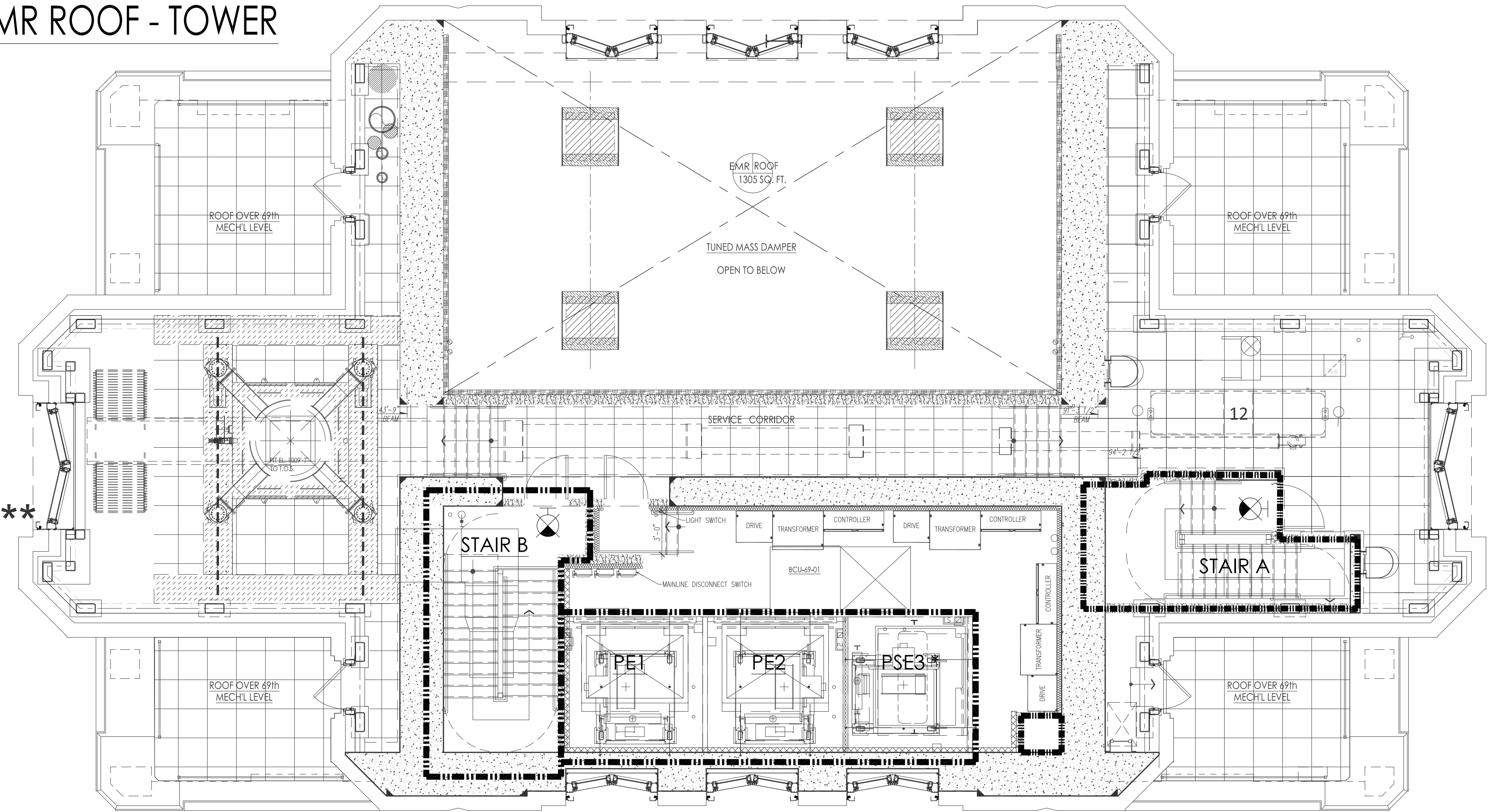
OCCUPANT LOAD CALCULATIONS			
OCCUPANCY CLASSIFICATION	SF/ OCCUPANT	FLOOR AREA	PERMITTED OCCUPANTS
MECHANICAL (S-2)	300	4,922	16
TOTAL OCCUPANT LOAD			16
PROPOSED OCCUPANTS= 16 < 300 THEREFORE COMPLIES			



70th FLOOR - EMR ROOF - TOWER

STAIR CAPACITY CALCULATIONS			
STAIR DESIGNATION	EGRESS WIDTH IN INCHES	EGRESS CAPACITY FACTOR	PERMITTED OCCUPANTS
STAIR "A"	45	0.3	150
STAIR "B"	45	0.3	150
TOTAL PERMITTED OCCUPANTS			300

OCCUPANT LOAD CALCULATIONS			
OCCUPANCY CLASSIFICATION	SF/ OCCUPANT	FLOOR AREA	PERMITTED OCCUPANTS
MECHANICAL (S-2)	300	2,572	9
TOTAL OCCUPANT LOAD			9
PROPOSED OCCUPANTS= 9 < 300 THEREFORE COMPLIES			



EGRESS AND FIRE PROTECTION LEGEND

- ONE HOUR RATED PARTITION
- TWO HOUR RATED PARTITION
- THREE HOUR RATED PARTITION
- TRAVEL DISTANCE WITHIN DWELLING UNIT
- TRAVEL DISTANCE TO EXIT
- COMMON PATH OF EGRESS TRAVEL
- DEAD END DISTANCE
- FIRE SERVICE ACCESS ELEVATOR
- LOT LINE WINDOW, NOT USED FOR NATURAL LEGAL VENTILATION OR LIGHT
- FIRE EXTINGUISHER

GENERAL NOTE

CORRIDOR PARTITIONS ARE REQUIRED TO BE ONE HOUR RATED, BUT ARE CONSTRUCTED AS 2 HOUR ONLY TO MEET THE STC RATING. CONTRACTOR SHALL FOLLOW FLOOR PLAN AND PARTITION TYPES WHEN CONSTRUCTING WALLS.

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FAX: (212) 415-3700

NEW SHEET

05-22-2017 REVISED PAA FILING
01-15-2017 BULLETIN 112
No. Date Revision:
D.C.S. NUMBER:
NB# 121184592

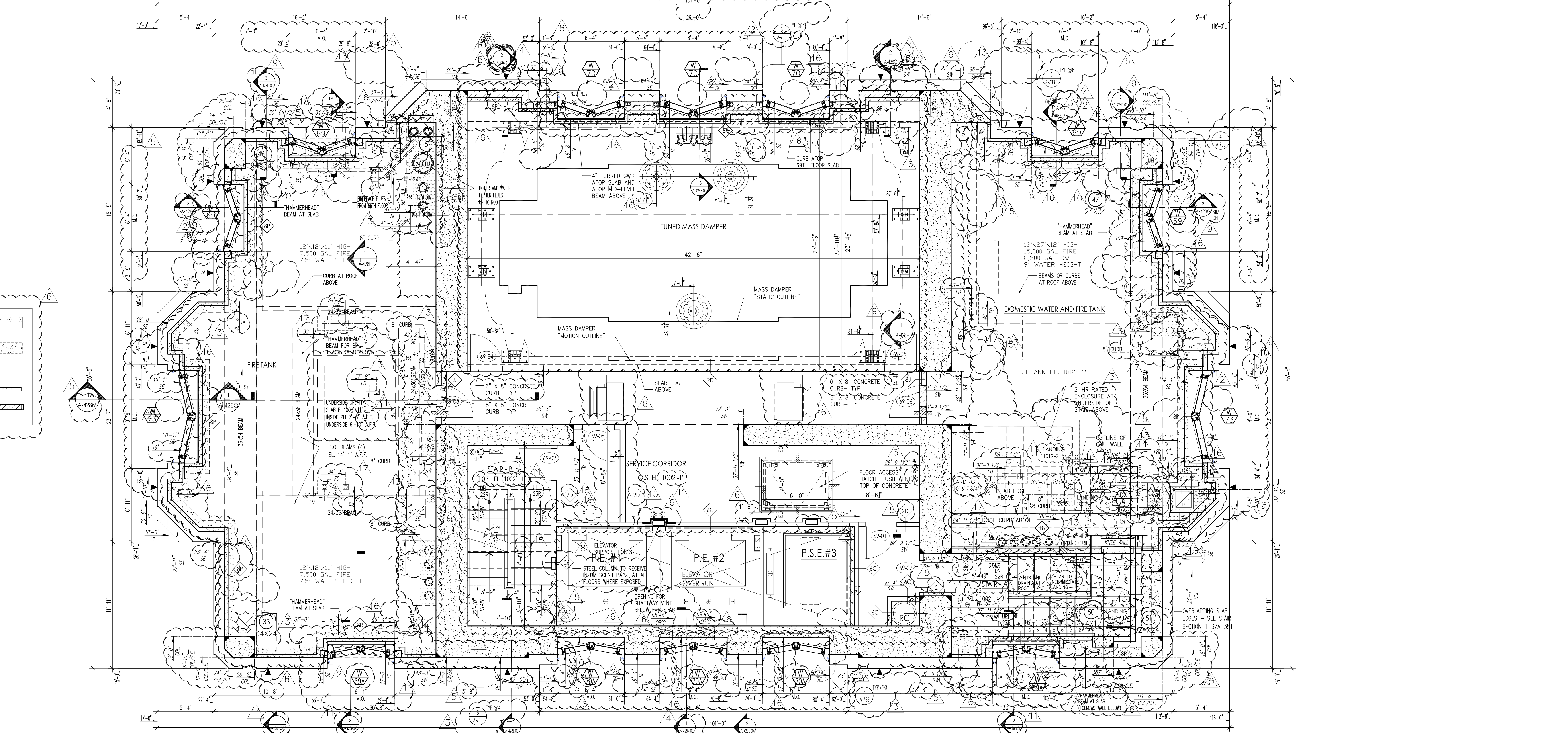
WORKSHEET
Scale: 3/16" = 1'-0"
0 2 4 6 8 10

KEY PLAN:
Shauqat Shaikh
APPROVED
Under Direction and sign
REVENUE APPLICATION
Date: 05/06/2022
NYC Development Hub

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK , NEW YORK

DRAWING TITLE:
68th-69th FLOOR & EMR ROOF
LIFE SAFETY PLANS

SEAL & SIGNATURE:
DATE: 2014-09
PROJECTING: C.W.
CHECKED BY: PA
DRAWING NO:
A-016B.00



E.P.F.P., ENGINEER:

Cosentini
A TETRA TECH COMPANY

100 PENN PLAZA
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05-22-2017	REVISED FAA FILING
05-22-2017	BULLETIN 127
05-23-2017	BULLETIN 125
05-24-2017	BULLETIN 123
05-10-2017	BULLETIN 99
02-24-2017	BULLETIN 117
01-17-2017	BULLETIN 115
02-01-2017	BULLETIN 114
01-23-2017	BULLETIN 112
11-22-2016	BULLETIN 104
02-28-2016	BULLETIN 100
10-21-2016	BULLETIN 99
10-27-2016	BULLETIN 97
09-30-2016	BULLETIN 96
09-23-2016	BULLETIN 95
07-15-2016	BULLETIN 80
06-27-2016	BULLETIN 75
04-10-2016	BULLETIN 73
04-22-2016	BULLETIN 65
02-05-2016	BULLETIN 52
05-20-2015	REVISED FAA FILING
03-30-2015	PROGRESS ISSUANCE TO LEND LEASE
03-12-2014	PROGRESS ISSUANCE TO LEND LEASE
04-02-2014	AMENDED BUILDING DEPARTMENT FILING


TH Arrow

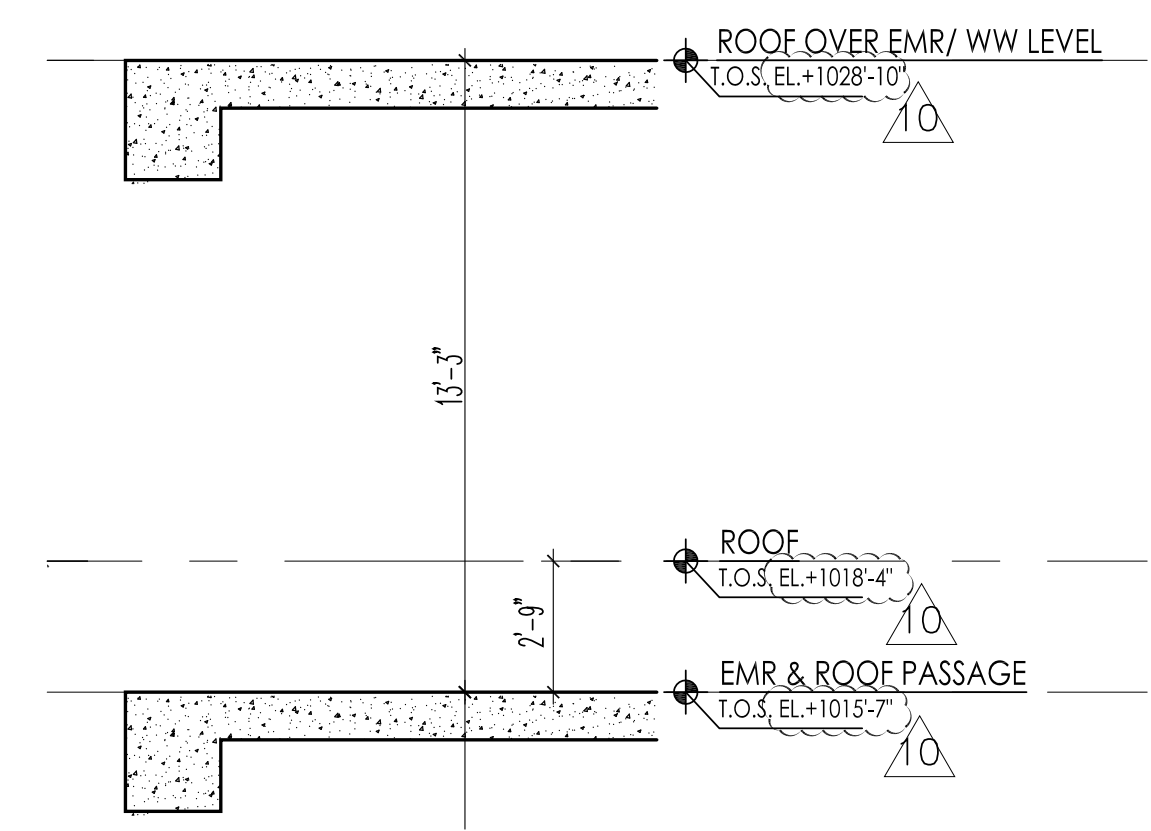
Scale: $1/8" = 1' - 0"$

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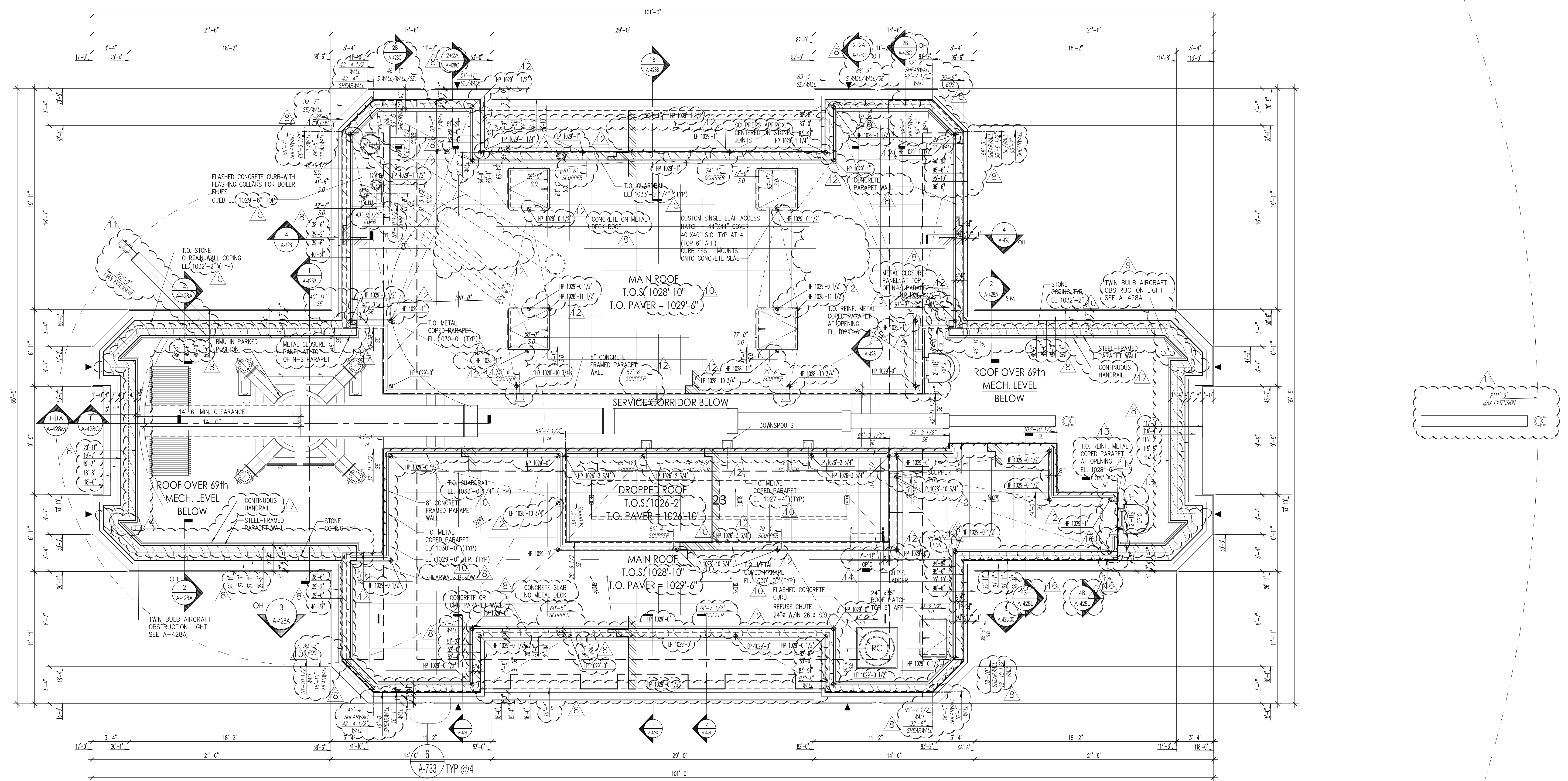
NYC Development Hub

AWING TITLE:
79TH FL. MECH. LEVEL PLAN (CONSTRUCTION)
79TH FL. MECH. LEVEL PLAN (MARKETING)

	DATE:	2014-09
	PROJECT No:	2014-09
	DRAWN BY:	JB
	CHECKED BY:	PA
	DRAWING No:	A-116.02
CADD FILE No:		
\\VNC\2014\2014-09\2014-09-09\2014-09-09		



A HEIGHT DIAGRAM
SCALE: 1/4" = 1'-0"



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NEW YORK, N.Y.

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05-25-2017	REVISED PAA FILING
04-20-2017	BULLETIN 127
04-07-2017	BULLETIN 126
03-31-2017	BULLETIN 125
03-19-2017	BULLETIN 121
03-15-2017	BULLETIN 120
02-01-2017	BULLETIN 114
01-15-2017	BULLETIN 112
11-20-2016	BULLETIN 104
11-11-2016	BULLETIN 102
10-28-2016	BULLETIN 100
10-21-2016	BULLETIN 99
10-05-2016	REVISED DOB FILING
09-30-2016	BULLETIN 96
09-25-2016	BULLETIN 95
07-20-2016	BULLETIN 82
07-15-2016	BULLETIN 80
06-25-2016	BULLETIN 75
04-20-2016	BULLETIN 52
08-25-2015	REVISED DOB FILING
10-30-2014	PROGRESS ISSUANCE TO LEND/LEASE
08-12-2014	PROGRESS ISSUANCE TO LEND/LEASE

NO. 121184592
Scale: 1/8" = 1'-0"
0 4 8 12 20

KEY PLAN:
Shauqat Shaikh
APPROVED
Under Direction and Sign
Date: 05/06/2017
NYC Development Hub

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

DRAWING TITLE:
**ROOF OVER
EMR PLAN**

SEAL & SIGNATURE:
DATE:
PROJECT NO.: 2014-09
DRAWN BY: NB/B
CHECKED BY: PA
DRAWING NO.:
A-116B.01

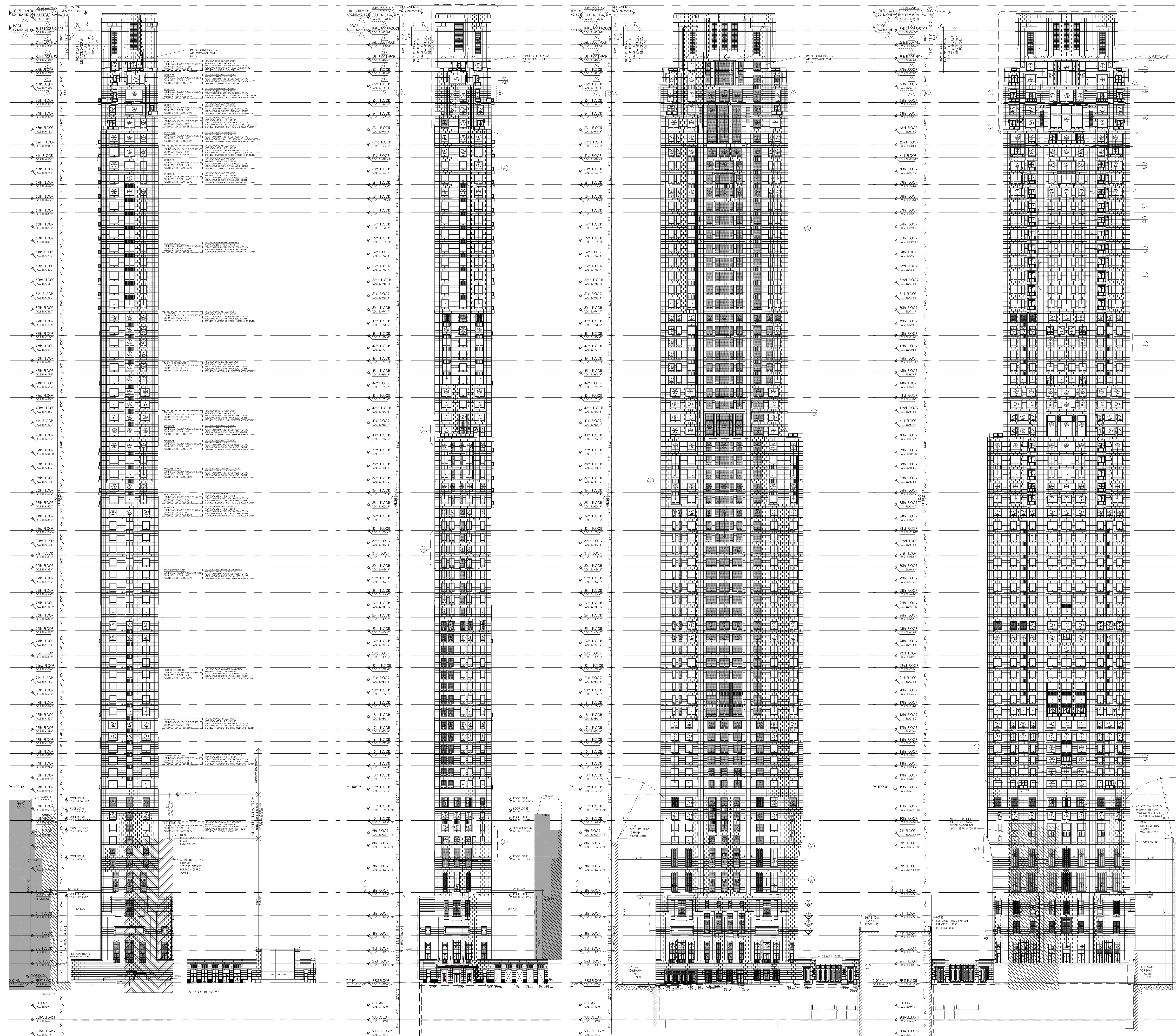
PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, N.Y.

OWNER/DEVELOPER:
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(212) 979-9387

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FAX: (212) 415-3700



4 WEST ELEVATION
SCALE: 1/32" = 1'-0"

3 EAST ELEVATION
SCALE: 1/32" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/32" = 1'-0"

05-22-2014	REVISED PAA FILING
01-22-2014	BULLETIN 104
01-15-2014	BULLETIN 50
09-25-2013	REVISED PAA FILING
07-14-2014	DOCS RING

No. Date Revision:
DOCS NUMBER:

NB# 121184592

WORKSHEET: Scale:

KEY PLAN:


Shauqat Shaikh
Shauqat Shaikh
Buildings
APPROVED
Under Direction and sign
ADMINISTRATIVE
Date: 05/06/2014
NYC Development Hub

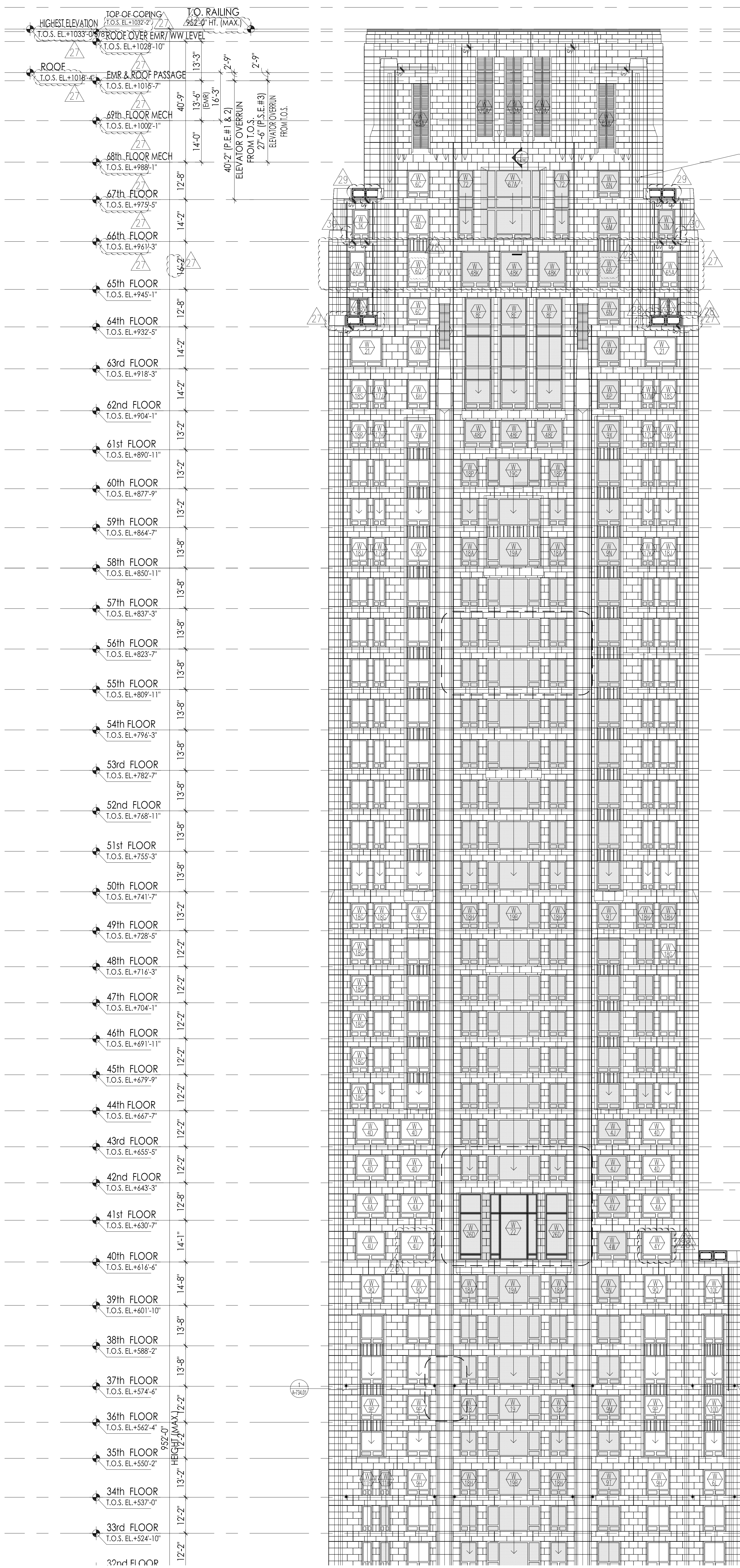
PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

DRAWING TITLE:
OVERALL
BUILDING ELEVATIONS

SEAL & SIGNATURE:

DATE:
PROJECTING: 2014-09
DRAWN BY:
CHECKED BY: PA
DRAWING NO:
A-200.03
CADD FILE NO:
F:\WORK\2014\220 CPS\220 CPS.dwg

SEAL & SIGNATURE:	DATE:
	PROJECT No: 2014-09
	DRAWN BY:
	CHECKED BY: PA
	DRAWING No: A-201.0
	CADD FILE No: T:\NOID\23, 2014\A-201.0\DWG-008.dwg



f = 190'-0"

0'-0" HT.
T.O.S. EL +81'-0 3/8"

CELLAR
T.O.S. EL +59'-0"

SUB-CELLAR 1
T.O.S. EL +45'-0"

SUB-CELLAR 2
T.O.S. EL +31'-6"

33rd FLOOR
T.O.S. EL +524'-10"

32nd FLOOR
T.O.S. EL +512'-8"

31st FLOOR
T.O.S. EL +500'-4"

30th FLOOR
T.O.S. EL +488'-4"

29th FLOOR
T.O.S. EL +476'-2"

28th FLOOR
T.O.S. EL +464'-0"

27th FLOOR
T.O.S. EL +451'-10"

26th FLOOR
T.O.S. EL +439'-8"

25th FLOOR
T.O.S. EL +426'-7"

24th FLOOR
T.O.S. EL +414'-6"

23rd FLOOR
T.O.S. EL +402'-5"

22nd FLOOR
T.O.S. EL +390'-4"

21st FLOOR
T.O.S. EL +378'-3"

20th FLOOR
T.O.S. EL +366'-2"

19th FLOOR
T.O.S. EL +354'-1"

18th FLOOR
T.O.S. EL +342'-0"

17th FLOOR
T.O.S. EL +329'-4"

16th FLOOR
T.O.S. EL +317'-8"

15th FLOOR
T.O.S. EL +304'-0"

14th FLOOR
T.O.S. EL +294'-4"

13th FLOOR
T.O.S. EL +282'-8"

12th FLOOR
T.O.S. EL +271'-0"

11th FLOOR
T.O.S. EL +252'-3 1/4"

10th FLOOR
T.O.S. EL +240'-2 1/4"

9th FLOOR
T.O.S. EL +228'-1 1/4"

8th FLOOR
T.O.S. EL +216'-0 1/4"

7th FLOOR
T.O.S. EL +193'-4 1/4"

6th FLOOR
T.O.S. EL +189'-4 1/4"

5th FLOOR
T.O.S. EL +147'-0 1/4"

4th FLOOR
T.O.S. EL +127'-5"

3rd FLOOR
T.O.S. EL +112'-8 1/2"

2nd FLOOR
T.O.S. EL +100'-0 1/4"

FIRST FLOOR
T.O.S. EL +81'-0 3/8"

14'-0"

22'-0 1/2"

22'-0"

22'-5"

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PROJECT:
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NEW YORK, N.Y.

OWNER/DEVELOPER:
VORNADO REALTY
210 ROUTE 4 EAST
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1359 BROADWAY NEW
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05-20-2017	REVISED PAA FILING
05-04-2017	BULLETIN 129-R1
03-15-2017	BULLETIN 129
03-03-2017	BULLETIN 118
02-01-2017	BULLETIN 114
12-23-2016	BULLETIN 109
12-09-2016	BULLETIN 106
11-22-2016	BULLETIN 104
11-18-2016	REVISED 65TH FL INCREASE IN HEIGHT
11-11-2016	BULLETIN 102
10-14-2016	BULLETIN 98
10-07-2016	BULLETIN 97
09-30-2016	BULLETIN 96
09-19-2016	BULLETIN 85
08-05-2016	BULLETIN 84
07-22-2016	BULLETIN 82
07-15-2016	BULLETIN 80
07-07-2016	BULLETIN 78
06-27-2016	BULLETIN 75
06-10-2016	BULLETIN 73
05-27-2016	BULLETIN 70
05-15-2016	BULLETIN 67
05-06-2016	BULLETIN 66
04-22-2016	BULLETIN 65
03-31-2016	BULLETIN 61
03-19-2016	BULLETIN 53R1
02-09-2016	BULLETIN 52
01-15-2016	BULLETIN 50
11-06-2015	BULLETIN 44
08-20-2015	REVISED D.O.B. FILING
07-16-2015	BULLETIN 26
05-29-2015	BULLETIN 19
05-20-2015	BULLETIN 16
02-20-2015	PROGRESS 1ST THRU 5TH FL. STONE COURSING
01-23-2015	BULLETIN 2
12-19-2014	BULLETIN 1
11-21-2014	PARTIAL STONE COURSING 40TH+40TH FLOOR
11-14-2014	PARTIAL STONE COURSING 39TH FLOOR
11-03-2014	PARTIAL WINDOW SCHEDULE 40TH+40TH FLOOR
10-29-2014	PARTIAL WINDOW SCHEDULE 5TH FLOOR
10-13-2014	PARTIAL WINDOW SCHEDULE 4TH+11TH FLOOR
09-30-2014	PARTIAL WINDOW SCHEDULE 12TH-39TH FLOOR
07-14-2014	D.O.B. FILING

NO: _____
DATE: _____
D.O.B. NUMBER: _____

NB# 121184592



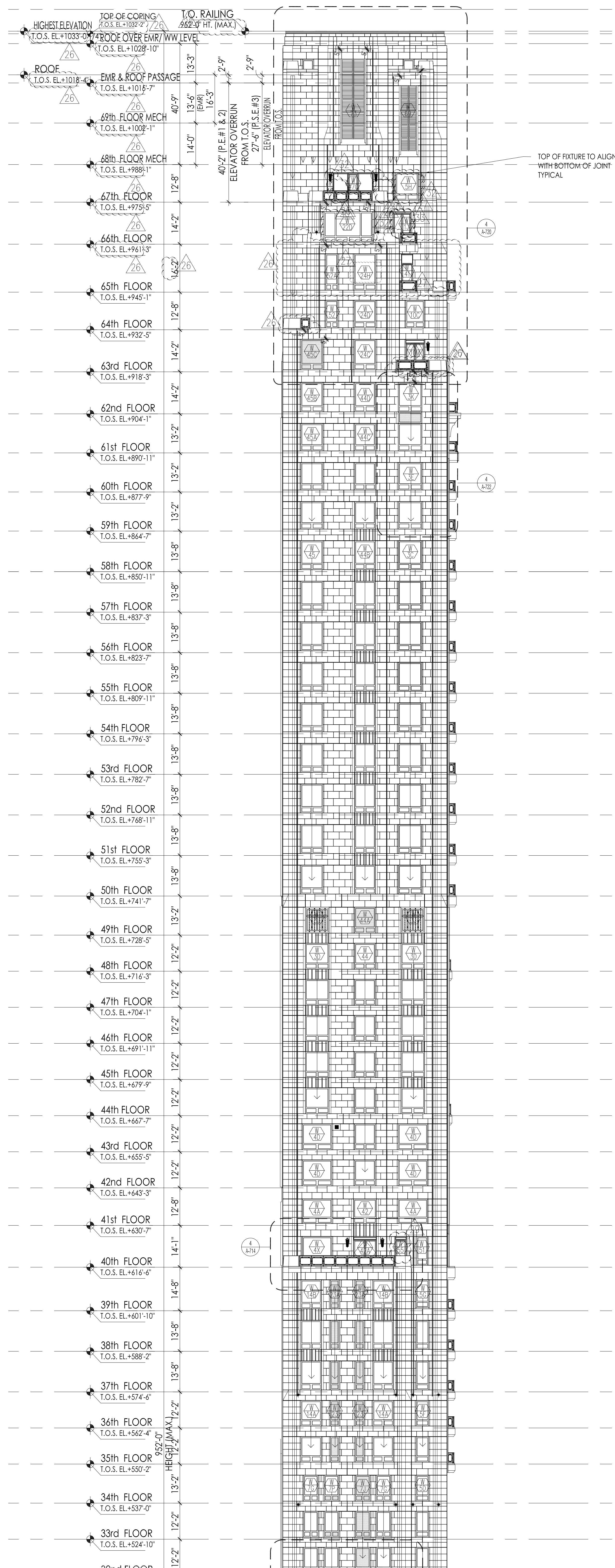
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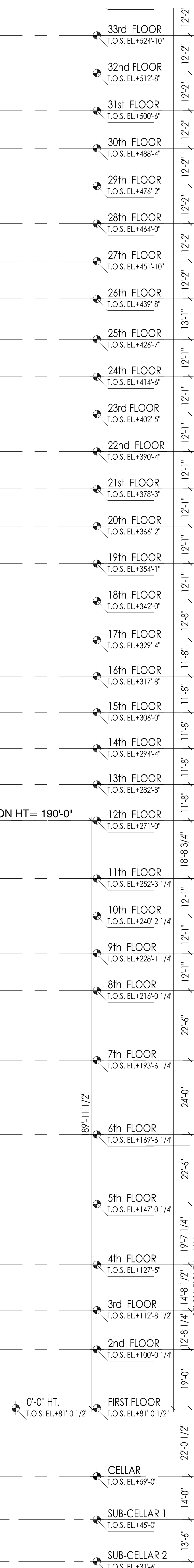
PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

DRAWING TITLE:
EAST ELEVATION

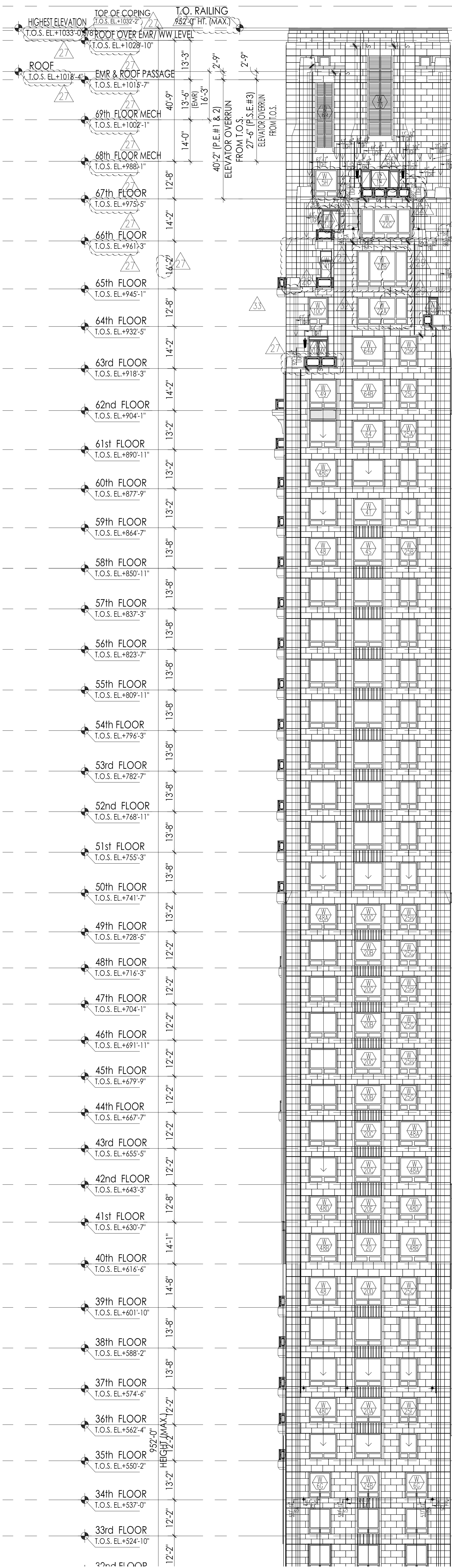
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PROJECTING: 2014-09
DRAWN BY: PA
CHECKED BY: PA
DRAWING NO: A-203.03
CADD FILE NO: 220CENTRALPARKSOUTH090914.dwg



VIEW ELEVATION HT = 190'-0"

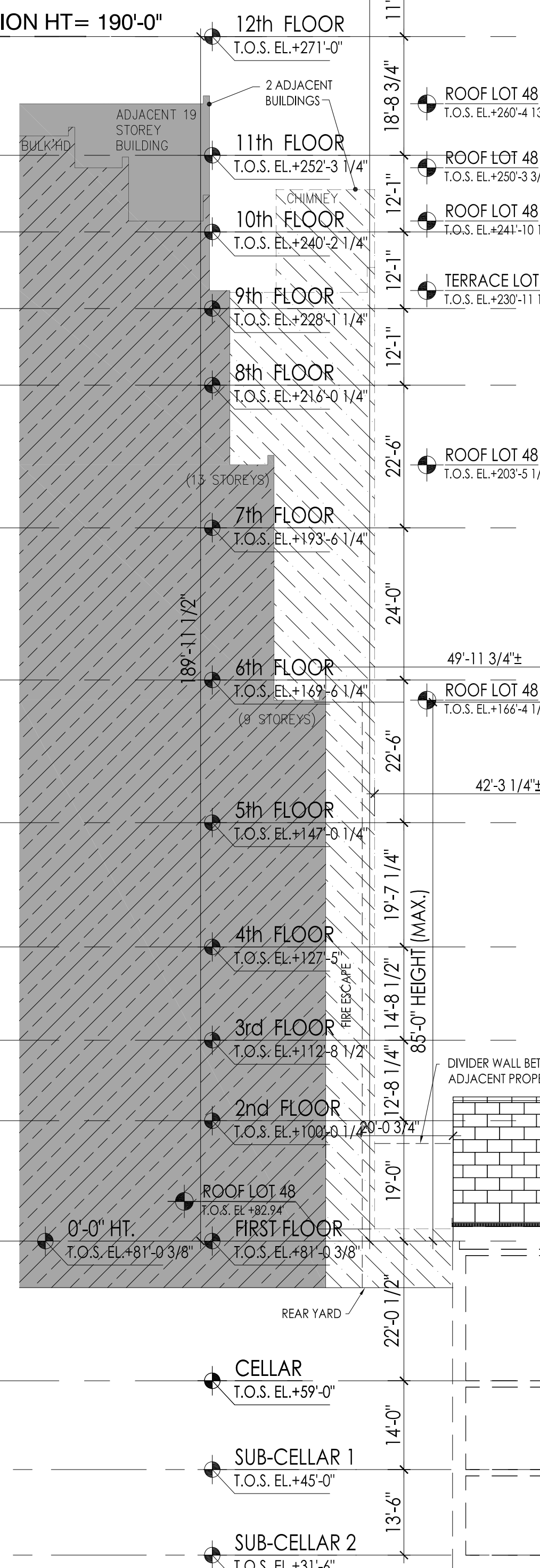


A PARTIAL EAST ELEVATION
SCALE: 1/16" = 1'-0"



FLOOR	LOT LINE FACADE AREA PER FLOOR	LOT LINE WINDOWS	PERCENT OPEN BY FLOOR
33rd FLOOR	701.9 SF	16.3 SF	23.2%
32nd FLOOR	785.1 SF	18.1 SF	23.1%
31st FLOOR	895.9 SF	20.9 SF	23.3%
30th FLOOR	701.9 SF	16.3 SF	23.2%
29th FLOOR	785.1 SF	18.1 SF	23.1%
28th FLOOR	895.9 SF	20.9 SF	23.3%
27th FLOOR	701.9 SF	16.3 SF	23.2%
26th FLOOR	785.1 SF	18.1 SF	23.1%
25th FLOOR	895.9 SF	20.9 SF	23.3%
24th FLOOR	701.9 SF	16.3 SF	23.2%
23rd FLOOR	785.1 SF	18.1 SF	23.1%
22nd FLOOR	895.9 SF	20.9 SF	23.3%
21st FLOOR	701.9 SF	16.3 SF	23.2%
20th FLOOR	785.1 SF	18.1 SF	23.1%
19th FLOOR	895.9 SF	20.9 SF	23.3%
18th FLOOR	701.9 SF	16.3 SF	23.2%
17th FLOOR	785.1 SF	18.1 SF	23.1%
16th FLOOR	895.9 SF	20.9 SF	23.3%
15th FLOOR	701.9 SF	16.3 SF	23.2%
14th FLOOR	785.1 SF	18.1 SF	23.1%
13th FLOOR	895.9 SF	20.9 SF	23.3%
12th FLOOR	701.9 SF	16.3 SF	23.2%
11th FLOOR	785.1 SF	18.1 SF	23.1%
10th FLOOR	895.9 SF	20.9 SF	23.3%
9th FLOOR	701.9 SF	16.3 SF	23.2%
8th FLOOR	785.1 SF	18.1 SF	23.1%
7th FLOOR	895.9 SF	20.9 SF	23.3%
6th FLOOR	701.9 SF	16.3 SF	23.2%
5th FLOOR	785.1 SF	18.1 SF	23.1%
4th FLOOR	895.9 SF	20.9 SF	23.3%
3rd FLOOR	701.9 SF	16.3 SF	23.2%
2nd FLOOR	785.1 SF	18.1 SF	23.1%
1st FLOOR	895.9 SF	20.9 SF	23.3%
CELLAR	701.9 SF	16.3 SF	23.2%

VIEW ELEVATION HT = 190'-0"



PARTIAL WEST ELEVATION
SCALE: 1/16" = 1'-0"

26th thru 33rd FLOORS:
LOT LINE FACADE AREA PER FLOOR: 674.2 SF
OPENINGS PER FLOOR: 203.3 SF
PERCENT OPEN BY FLOOR: 30.1%

LOT LINE WINDOWS 26th thru 33rd FLOORS (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 674.2 SF x 25% = 168.5 SF OR 20%
ACTUAL OPENINGS: 173.7 x 12'-0" x 12'-0" = 203.3 SF
OPENINGS = 203.3 / 674.2 = 30.1% THEREFORE DOES NOT COMPLY

24th FLOOR:
LOT LINE FACADE AREA PER FLOOR: 701.9 SF
OPENINGS PER FLOOR: 189.4 SF
PERCENT OPEN BY FLOOR: 27.0%

LOT LINE WINDOWS 24th FLOOR (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 701.9 SF x 25% = 175.5 SF OR 20%
ACTUAL OPENINGS: 189.4 SF x 12'-0" x 12'-0" = 270.0 SF
OPENINGS = 189.4 / 701.9 = 27.0% THEREFORE DOES NOT COMPLY

12th thru 23rd FLOORS:
LOT LINE FACADE AREA PER FLOOR: 646.5 SF
OPENINGS PER FLOOR: 161.6 SF
PERCENT OPEN BY FLOOR: 25.0%

LOT LINE WINDOWS 12th thru 23rd FLOORS (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 646.5 SF x 25% = 161.6 SF OR 20%
ACTUAL OPENINGS: 161.6 SF x 12'-0" x 12'-0" = 230.4 SF
OPENINGS = 161.6 / 646.5 = 25.0% THEREFORE DOES NOT COMPLY

6th thru 9th FLOORS:
LOT LINE FACADE AREA PER FLOOR: 669.6 SF
OPENINGS PER FLOOR: 112.7 SF
PERCENT OPEN BY FLOOR: 16.8%

LOT LINE WINDOWS 6th thru 9th FLOORS (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 669.6 SF x 25% = 167.4 SF OR 20%
ACTUAL OPENINGS: 112.7 SF x 12'-0" x 12'-0" = 162.2 SF
OPENINGS = 112.7 / 669.6 = 16.8% THEREFORE DOES NOT COMPLY

8th FLOOR:
LOT LINE FACADE AREA PER FLOOR: 729.6 SF
OPENINGS PER FLOOR: 216.4 SF
PERCENT OPEN BY FLOOR: 29.7%

LOT LINE WINDOWS 8th FLOOR (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 729.6 SF x 25% = 182.4 SF OR 20%
ACTUAL OPENINGS: 216.4 SF x 12'-0" x 12'-0" = 315.8 SF
OPENINGS = 216.4 / 729.6 = 29.7% THEREFORE DOES NOT COMPLY

41st FLOOR:
LOT LINE FACADE AREA PER FLOOR: 729.6 SF
OPENINGS PER FLOOR: 216.4 SF
PERCENT OPEN BY FLOOR: 29.7%

LOT LINE WINDOWS 41st FLOOR (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 729.6 SF x 25% = 182.4 SF OR 20%
ACTUAL OPENINGS: 216.4 SF x 12'-0" x 12'-0" = 315.8 SF
OPENINGS = 216.4 / 729.6 = 29.7% THEREFORE DOES NOT COMPLY

39th FLOOR:
LOT LINE FACADE AREA PER FLOOR: 812.8 SF
OPENINGS PER FLOOR: 230.3 SF
PERCENT OPEN BY FLOOR: 28.3%

LOT LINE WINDOWS 39th FLOOR (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 812.8 SF x 25% = 203.2 SF OR 20%
ACTUAL OPENINGS: 230.3 SF x 12'-0" x 12'-0" = 336.4 SF
OPENINGS = 230.3 / 812.8 = 28.3% THEREFORE DOES NOT COMPLY

37th and 38th FLOORS:
LOT LINE FACADE AREA PER FLOOR: 751.4 SF
OPENINGS PER FLOOR: 201.1 SF
PERCENT OPEN BY FLOOR: 26.8%

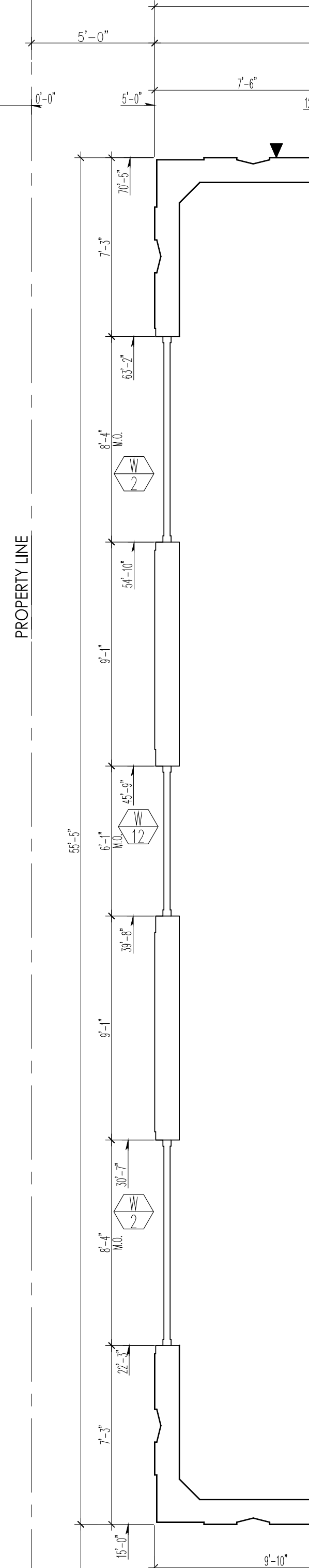
LOT LINE WINDOWS 37th and 38th FLOORS (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 751.4 SF x 25% = 187.8 SF OR 20%
ACTUAL OPENINGS: 201.1 SF x 12'-0" x 12'-0" = 297.1 SF
OPENINGS = 201.1 / 751.4 = 26.8% THEREFORE DOES NOT COMPLY

35th and 36th FLOORS:
LOT LINE FACADE AREA PER FLOOR: 674.2 SF
OPENINGS PER FLOOR: 203.3 SF
PERCENT OPEN BY FLOOR: 30.1%

LOT LINE WINDOWS 35th and 36th FLOORS (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 674.2 SF x 25% = 168.5 SF OR 20%
ACTUAL OPENINGS: 203.3 SF x 12'-0" x 12'-0" = 243.9 SF
OPENINGS = 203.3 / 674.2 = 30.1% THEREFORE DOES NOT COMPLY

34th FLOOR:
LOT LINE FACADE AREA PER FLOOR: 729.6 SF
OPENINGS PER FLOOR: 216.4 SF
PERCENT OPEN BY FLOOR: 29.7%

LOT LINE WINDOWS 34th FLOOR (WEST):
AREA OF WALL: 50'-0" x 12'-0" = 600.0 SF
PERMITTED OPENINGS: 729.6 SF x 25% = 182.4 SF OR 20%
ACTUAL OPENINGS: 216.4 SF x 12'-0" x 12'-0" = 315.8 SF
OPENINGS = 216.4 / 729.6 = 29.7% THEREFORE DOES NOT COMPLY



EL +265'-6 1/2"

EL +222'-4"

EL +203'-3 1/4"

EL +166'-4 1/16"

EL +147'-0 1/4"

EL +127'-9 1/2"

EL +112'-8 1/2"

EL +100'-0 1/2"

EL +81'-2 3/8"

EL +59'-0"

EL +45'-0"

EL +31'-6"

EL +18'-3"

EL +14'-6"

EL +11'-0"

EL +8'-0"

EL +5'-0"

EL +2'-0"

EL +0'-0"

EL -3'-0"

EL -6'-0"

EL -9'-0"

EL -12'-0"

EL -15'-0"

EL -18'-0"

EL -21'-0"

EL -24'-0"

EL -27'-0"

EL -30'-0"

EL -33'-0"

EL -36'-0"

EL -39'-0"

EL -42'-0"

EL -45'-0"

EL -48'-0"

EL -51'-0"

EL -54'-0"

EL -57'-0"

EL -60'-0"

EL -63'-0"

EL -66'-0"

EL -69'-0"

EL -72'-0"

EL -75'-0"

EL -78'-0"

EL -81'-0"

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EL -450'-0"

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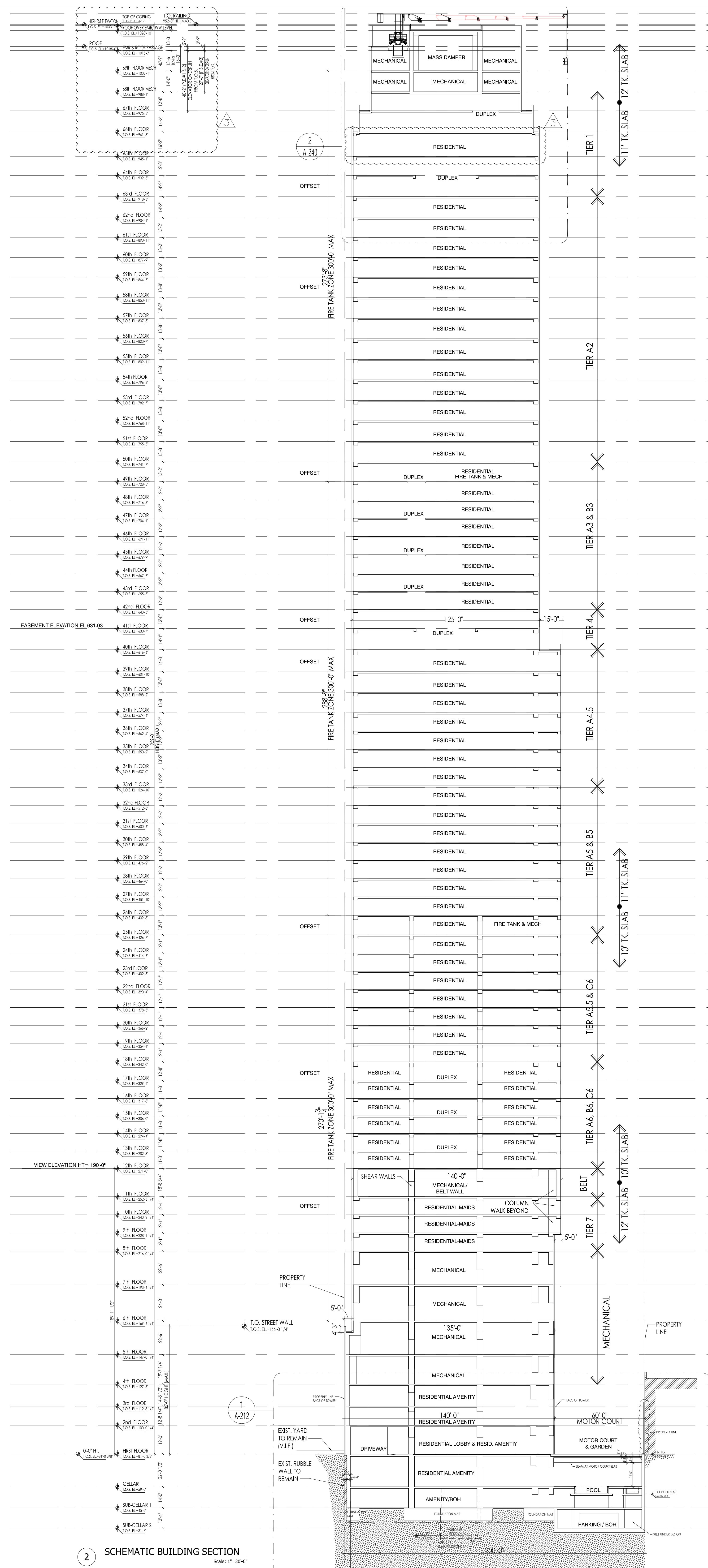
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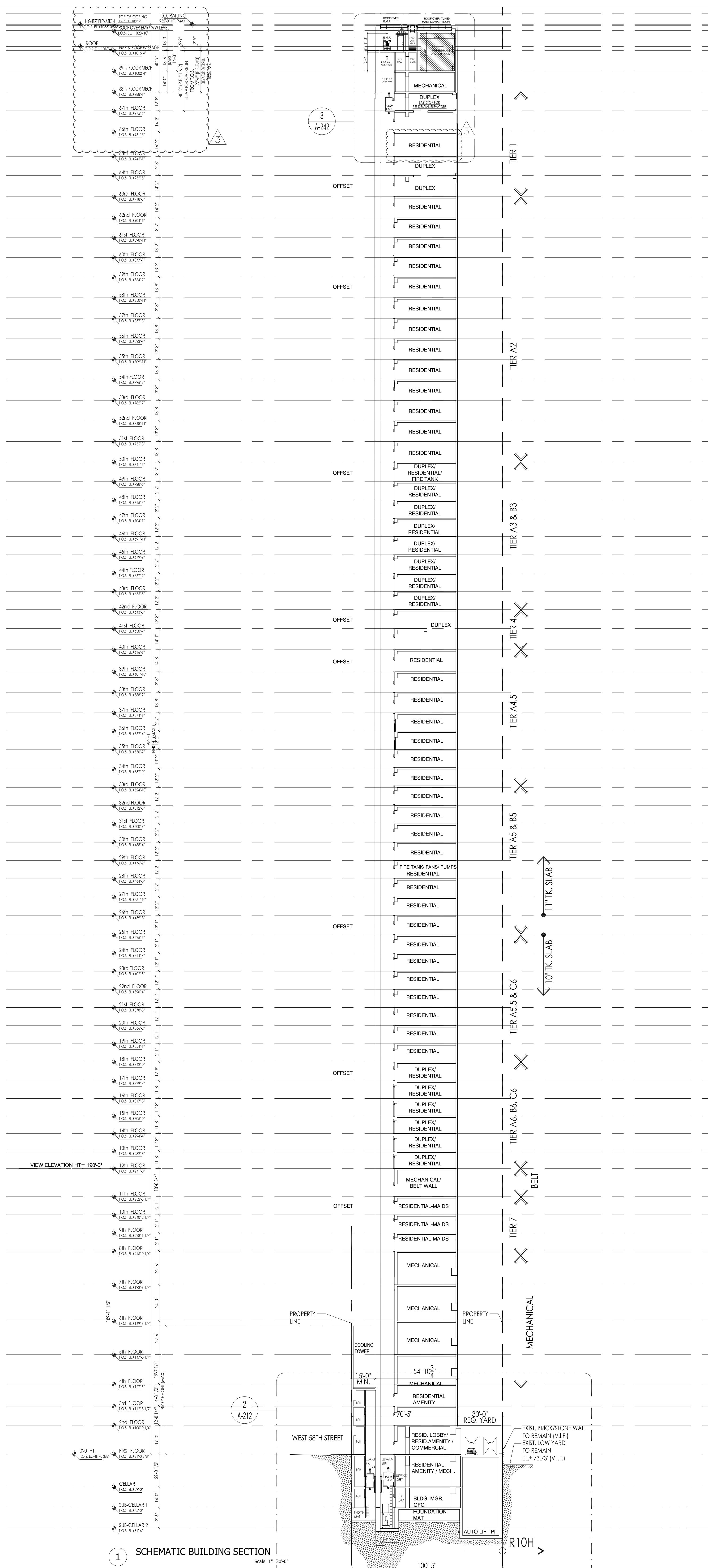
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EL -516'-0"

EL -519'-0"



2 SCHEMATIC BUILDING SECTION
Scale: 1"=30'-0"



1 SCHEMATIC BUILDING SECTION
Scale: 1"=30'-0"

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, N.Y.

OWNER/DEVELOPER:
VORNADO REALTY
210 ROUTE 4 EAST
PARAMUS, NEW JERSEY 07652
TEL: (201) 587-1000
FAX: (201) 587-0400

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YORK, NY 10018 TEL:
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(212) 979-8387

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Cosentini
A TETRA TECH COMPANY
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NEW YORK, N.Y. 10121
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05-23-2017	REVISED PAA FILING
11-22-2014	BULLETIN 104
11-18-2014	REVISED 65TH FL. INCREASE IN HEIGHT
10-05-2014	REVISED D.O.B. FILING
11-04-2015	BULLETIN 44
08-29-2015	REVISED D.O.B. FILING
05-29-2015	BULLETIN 18
05-10-2014	TOWER SECTIONS
05-28-2014	AMENDED D.O.B. FILING
04-22-2014	AMENDED BUILDING DEPARTMENT FILING
01-14-2014	D.O.B. FILING

No.: Date: Revision:
D.O.B. NUMBER: **NB# 121184592**

NOTES/ARROW: Scale:

KEY PLAN:

Shauqat Shaikh Buildings
APPROVED
Under Direction and sign
AMENDED APPLICATION
Date: 05/06/2017
NYC Development Hub

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

DRAWING TITLE:
**BUILDING SECTIONS
TOWER**

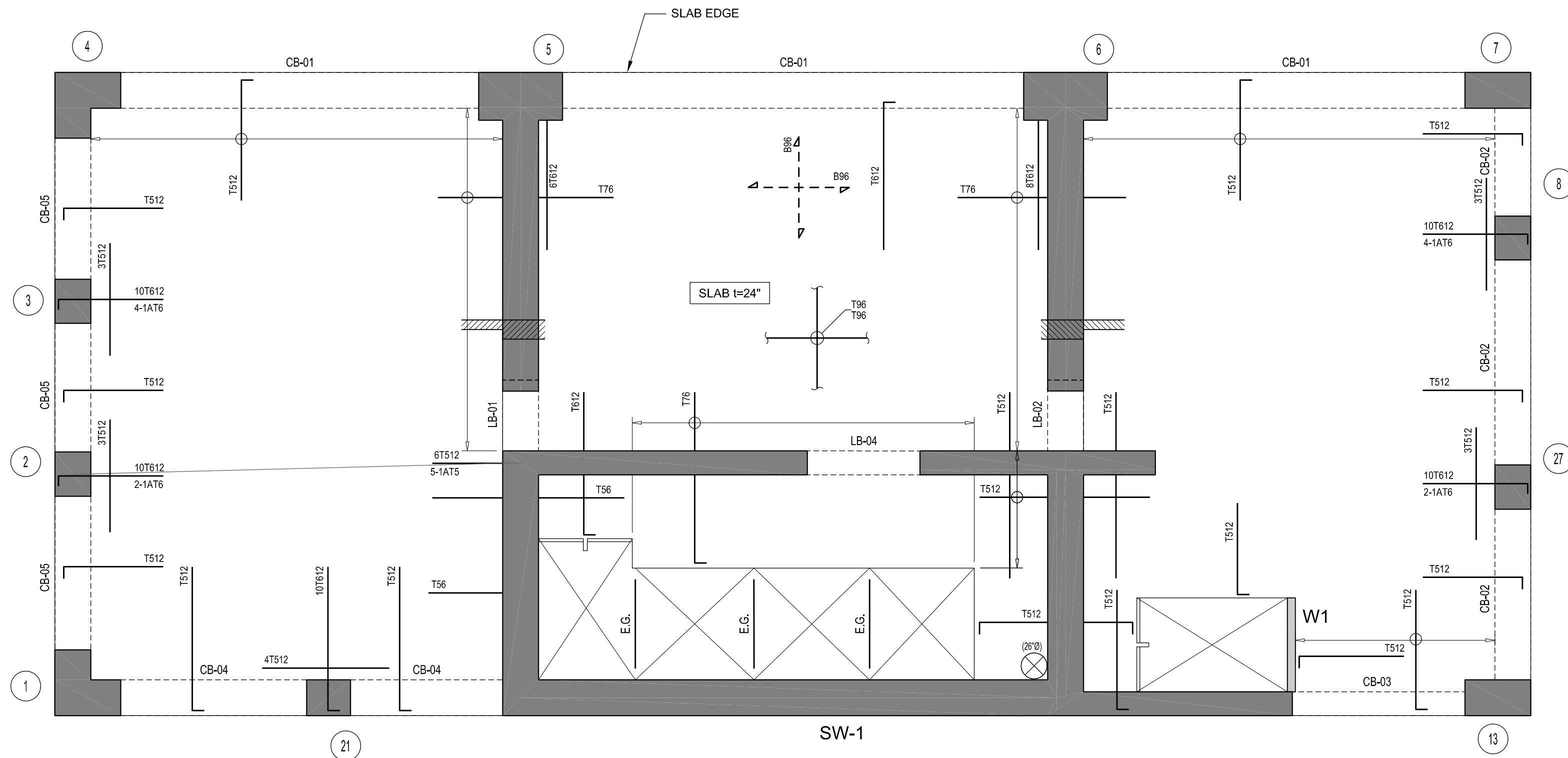
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CADD REF: **A-210.04**

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK , N.Y.

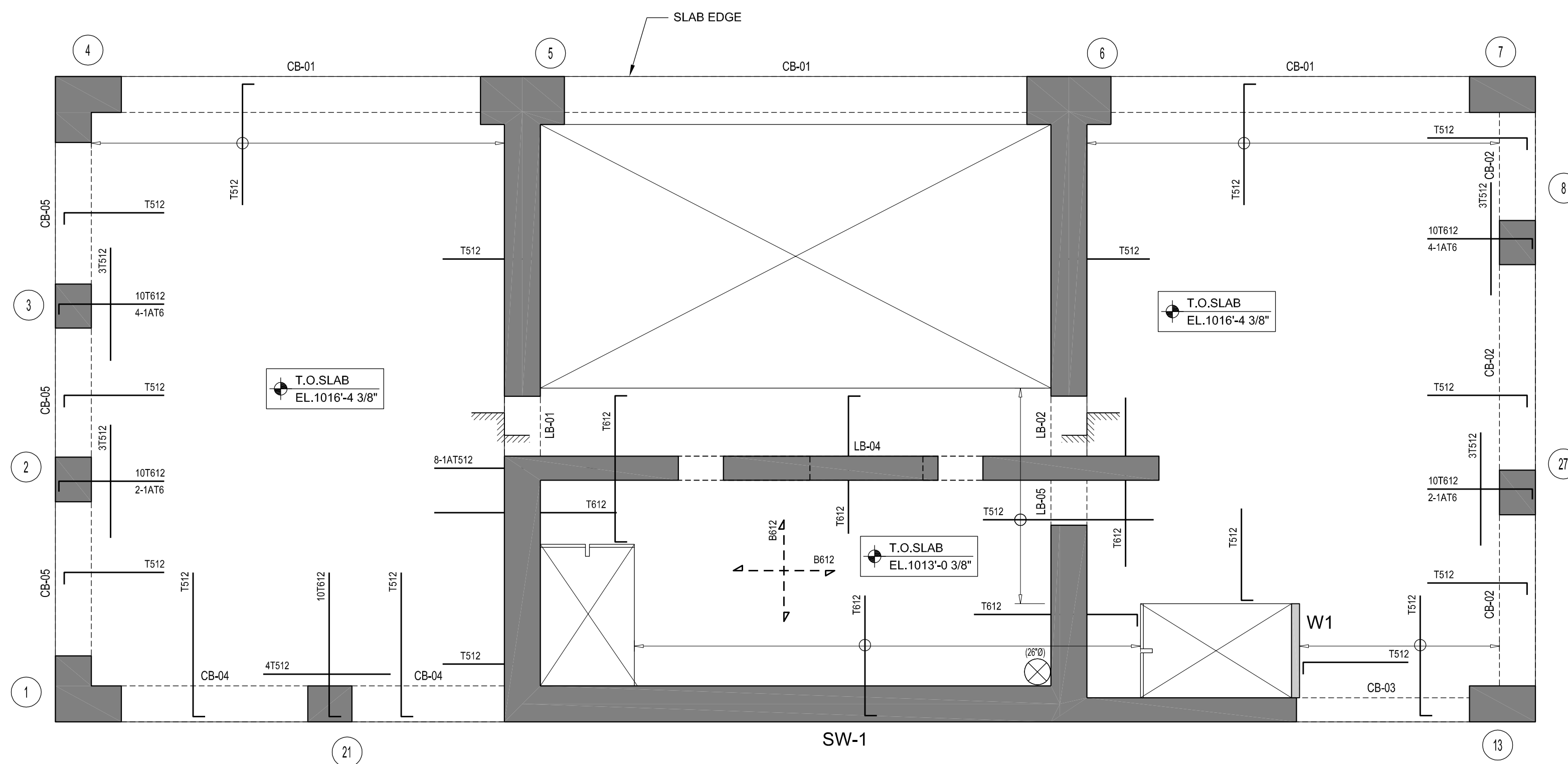
OWNER/DEVELOPER:
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FAX.: (212) 615-3700



1 66TH ROOF OVER MECHANICAL FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

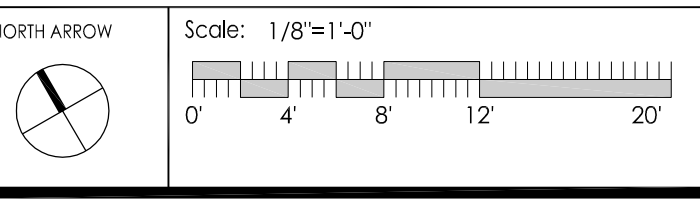


2 ROOF/EMR FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

FLOOR LEVEL	T. O. SLAB EL.
66TH	1000'-4 3/8"
ROOF/EMR	1013'-0 3/8"

- DRAWING NOTES:**
- SEE DRAWING S-001 FOR GENERAL NOTES, DRAWING INDEX AND DESIGN CRITERIAL LOADS.
 - SEE S-401 AND S-402 DRAWINGS FOR COLUMN SCHEDULE AND DETAILS.
 - SEE 410 SERIES DRAWINGS FOR SHEAR WALL PLANS.
 - SEE 600 SERIES DRAWINGS FOR CONCRETE SECTIONS AND DETAILS.
 - SEE S-601 FOR TYPICAL MASONRY DETAILS.
 - CONTRACTOR TO LOCATE / VERIFY ALL THE SLAB OPENINGS FROM ARCHITECTURAL AND MEP DRAWINGS.
 - "LB-X" INDICATES LINK BEAM, SEE S-430 SERIES DRAWINGS FOR LINK BEAM SCHEDULE.
 - "EG" INDICATES HSS6x6x1/4 ELEVATOR GUIDE RAIL SUPPORT BEAM.
 - "CB-X" INDICATES CONCRETE BEAM, SEE S-430 SERIES DRAWINGS FOR BEAM SCHEDULE.
 - "W" INDICATES COLUMN WALK.
 - "T" INDICATES COLUMN TRANSFER.
 - BOTTOM MOST AND TOP MOST LAYER REINFORCEMENT TO RUN EAST-WEST DIRECTION.

3 04.10.2014 SUPERSTRUCTURE DOB FILING
2 04.01.2014 SUPERSTRUCTURE BID SET
1 02.28.2014 DOB FILING
No. Date Revision
D.O.B. NUMBER:
NB# 121184592



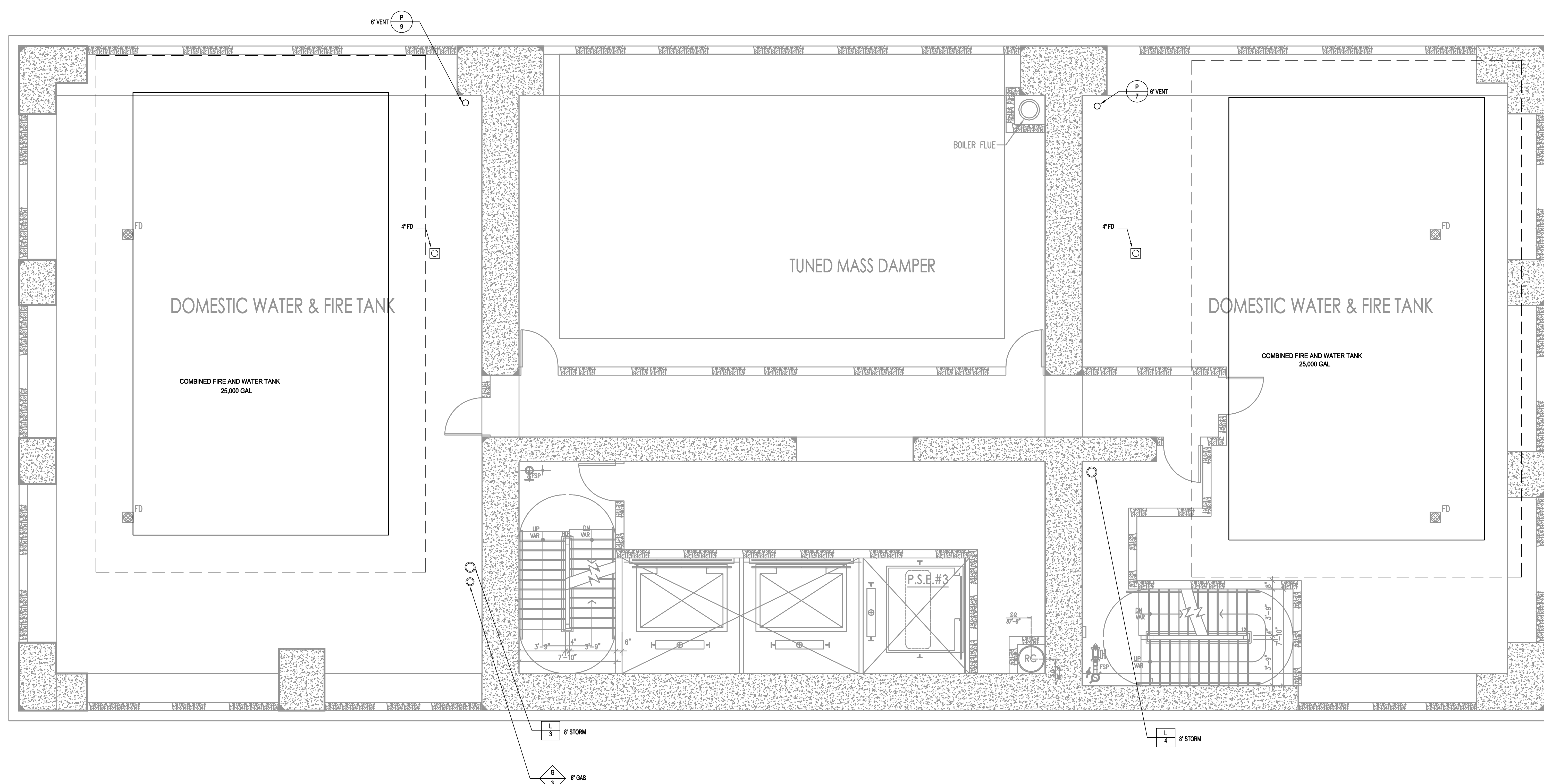
KEY PLAN:

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK , NEW YORK

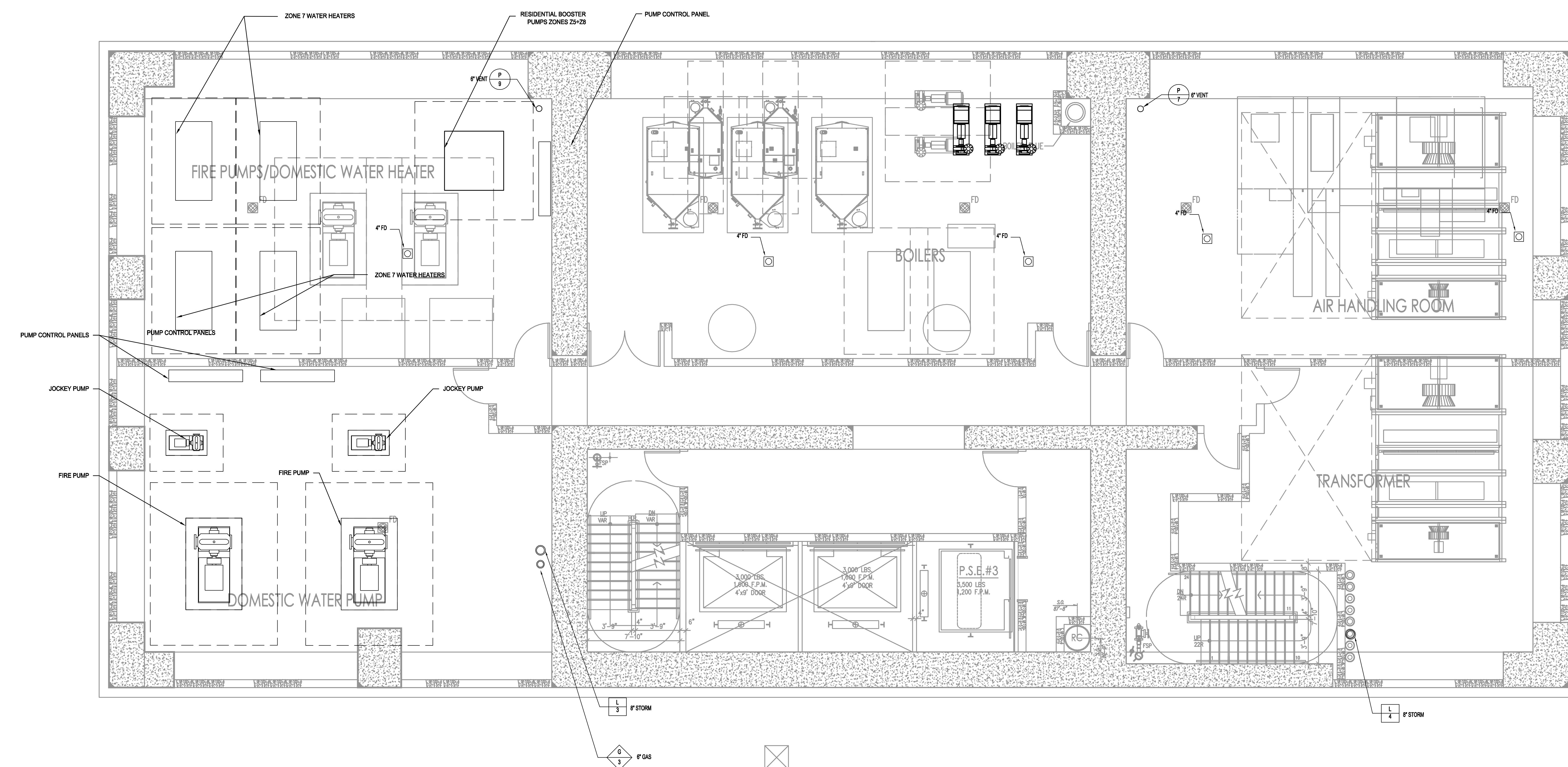
DRAWING TITLE:
**66TH - ROOF/EMR FLOOR
REINFORCEMENT PLAN**

SEAL & SIGNATURE:

DATE: 13271.00
PROJECT NO.: MB
DRAWN BY: MB
CHECKED BY: MP
DRAWING NO.:
S-366.00
CADD FILE NO.: 07/28/14ag 26 OF 45



66th FLOOR MECHANICAL LEVEL



65th FLOOR MECHANICAL LEVEL

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, N.Y.

OWNER/DEVELOPER:
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FAX.: (212) 615-3700

Shauqat Shaikh
Shauqat Shaikh
Buildings

APPROVED
Under Directive 2 of 1975

Date/Time: Apr 28, 2014 - 10:32 AM
NYC Development Hub

Alterations or additions to this engineering document by an unlicensed person is a violation of Chapter 16, Title VII, Article 145 § 7209.2 of the New York State Education Law.

1	02/07/14	ISSUED FOR DOB RING
2	04/10/14	ISSUED FOR DOB RING
3	02/07/14	ISSUED FOR DOB RING
4	02/07/14	ISSUED FOR DOB RING
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NB# 121184592



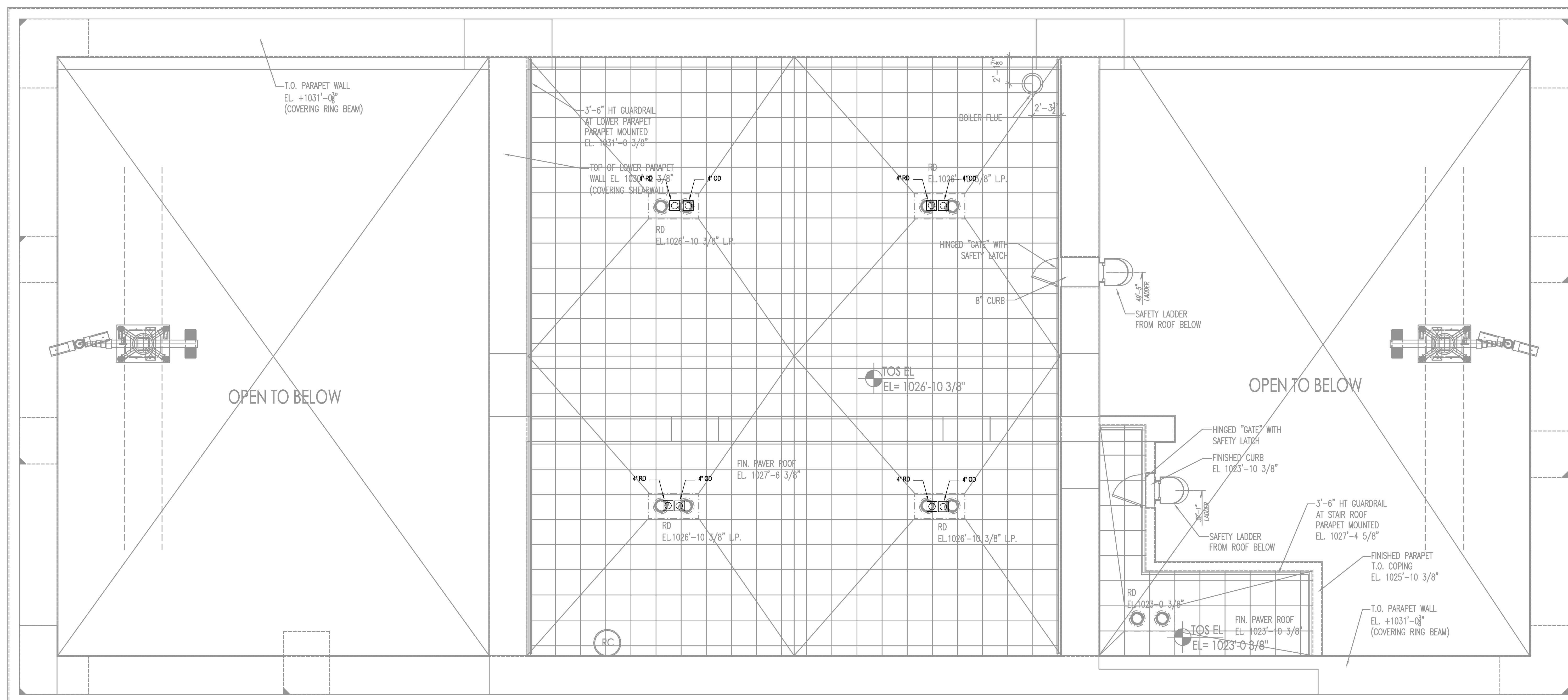
KEY PLAN:

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, NEW YORK

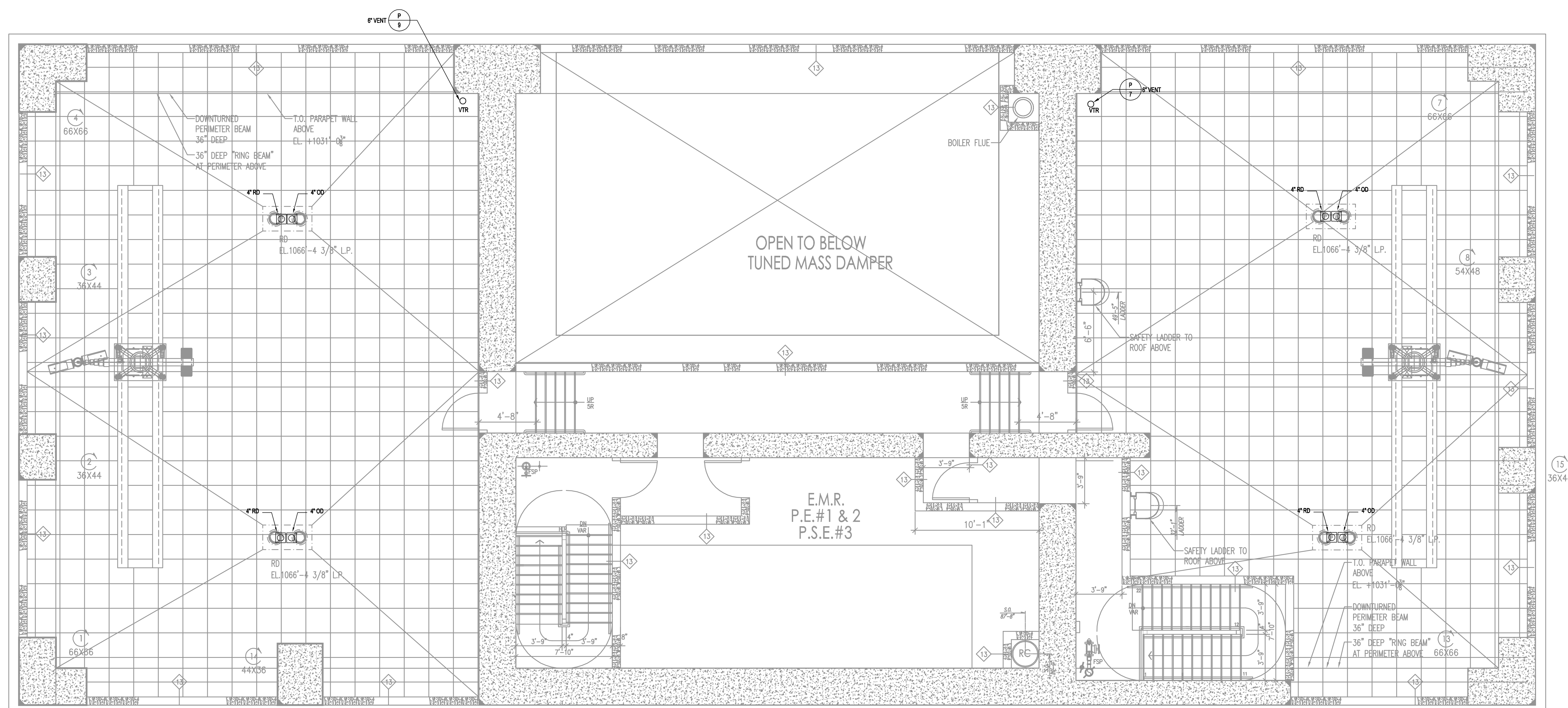
DRAWING TITLE:
PLUMBING
65TH AND 66TH FLOOR
MECHANICAL LEVELS

SEAL & SIGNATURE:

DATE: 03/19/08
PROJECT NO.: 130287
DRAWN BY: N.P.
CHECKED BY: A.E.
DRAWING NO.: **P-113.00**
CADD FILE NO.:
14 OF 24



ROOF OVER EMR



E.M.R. / ROOF LEVEL

PROJECT:
220 CENTRAL PARK SOUTH
NEW YORK, N.Y.

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Buildings

APPROVED
Under Directive 2 of 1975

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KEY PLAN:

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NEW YORK, NEW YORK

DRAWING TITLE:
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OVER M.E.R.

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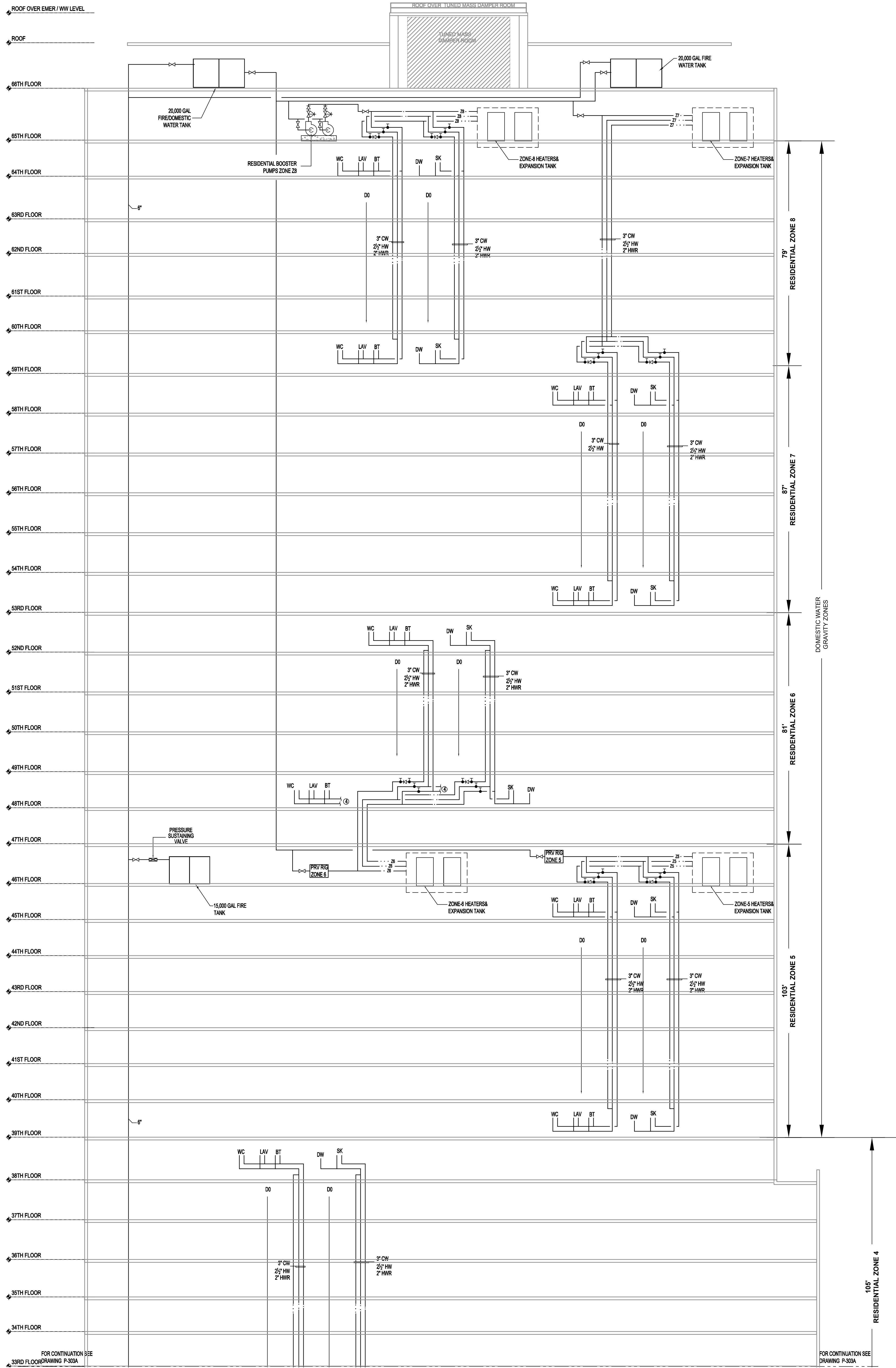
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PROJECT:
220 CENTRAL PARK SOUTH
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DRAWING TITLE:
PLUMBING
DOMESTIC WATER RISER DIAGRAM

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220 CENTRAL PARK SOUTH
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22 OF 24

ROOF OVER TUNED MASS DAMPER ROOM

TUNED MASS
DAMPER ROOM

ROOF OVER EMER / WW LEVEL

ROOF

66TH FLOOR

65TH FLOOR

64TH FLOOR

63RD FLOOR

62ND FLOOR

61ST FLOOR

60TH FLOOR

59TH FLOOR

58TH FLOOR

57TH FLOOR

56TH FLOOR

55TH FLOOR

54TH FLOOR

53RD FLOOR

52ND FLOOR

51ST FLOOR

50TH FLOOR

48TH FLOOR

48TH FLOOR

47TH FLOOR

46TH FLOOR

FOR DOB SEE DWG 81048